



# LAUREL RANCH

## ARCHITECTURAL DESIGN GUIDELINES

ANTIOCH, CA  
APRIL 2016



# TABLE OF CONTENTS

## 1.0 INTRODUCTION

1.1 Purpose & Objective.....	3
1.2 Project Description.....	4
1.3 Illustrative Neighborhood Location Map.....	5
1.4 Vesting Tentative Map.....	6

## 2.0 ARCHITECTURAL DEVELOPMENT STANDARDS & GUIDELINES

2.1 Siting.....	8
2.2 Scale.....	10
2.3 Elevation.....	11

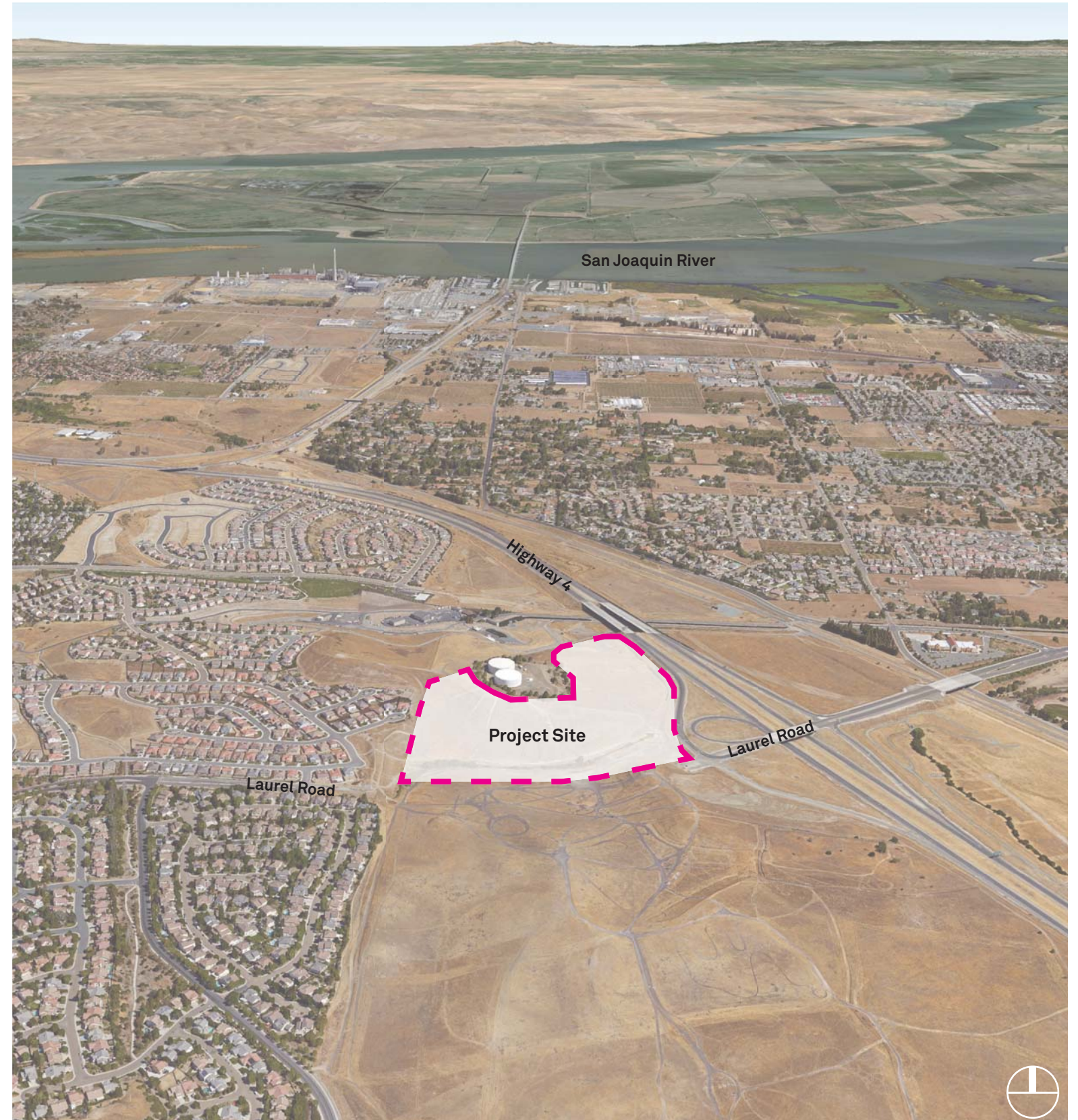
## 3.0 CONCEPTUAL FLOOR PLANS AND ELEVATIONS

3.1 Conceptual Conventional Lot Floor Plans.....	14
3.2 Conceptual Conventional Lot Street Elevation (Style Reference).....	17
3.3 Conceptual Conventional Imagery.....	18
3.4 Conceptual Private Lane Floor Plans.....	19
3.5 Conceptual Private Lane Street Elevation (Style Reference).....	22
3.6 Conceptual Private Lane Imagery.....	23

## 4.0 LANDSCAPE GUIDELINES

4.1 Overall Site Plan.....	25
4.2 Park 'A' Plan.....	26
4.3 Park 'B' Plan.....	27
4.4 Private Lane Typical: Lots 54-59.....	28
4.5 Conventional Typical: Lots 42-45.....	29
4.6 Main Entrance.....	30
4.7 Laurel Road Frontage.....	31
4.8 Common Space A & G.....	32

### PROJECT TEAM:



Site Location Map





# 1.0 INTRODUCTION | PURPOSE & OBJECTIVE

The Laurel Ranch Architectural Design Guidelines aim to provide the City of Antioch, property owners, project designers, and developers the framework for high-quality homes in the two residential neighborhoods of Laurel Ranch. These guidelines express the desired character of future development in Laurel Ranch and are intended as a guiding document to ensure the creation of cohesive communities that set a higher degree of design quality than the minimum City standards.

The main goals and objectives of these guidelines are to:

- Create **quality designed homes** that are **human-scale** and promote the **sense of safety and security** in the neighborhoods;
- Create neighborhoods that are **pedestrian-friendly** and connected to local open space amenities; and
- Create visual and **home diversity** to help create distinct neighborhoods and offer **options for a range of lifestyles**.

As a guiding document, these guidelines are meant to provide direction to help achieve the vision of Laurel Ranch and are thus not meant to be exclusively restricted. Guidelines with the term “shall” are required and are to be implemented, and guidelines with the term “should” are highly recommended. All homes shall comply with the City of Antioch Zoning Ordinance, Citywide Design Guidelines Manual, and all other applicable codes and ordinances while reflecting the vision of these Design Guidelines.





# 1.2 PROJECT DESCRIPTION

Land use For Laurel Ranch is guided by the East Lone Tree Specific Plan (ELTA) which was adopted in May 1996. The project site's land use designation in the ELTA is a combination of Residential High, Residential Low, and Open Space. Consistent with the land uses and the prescribed densities in the ELTA, Richland is proposing 180 dwelling units within two distinct single-family detached residential neighborhoods, Conventional and Private Lane. Below is a description of each neighborhood:

### *Conventional Neighborhood*

This neighborhood has 88 homes and proposed to have a minimum lot size of 4,000 sq. ft, with minimum dimensions of 50' (width) and 80' (depth). There will be a mix of single and two story homes that are expected to range from approximately 1,750 to 3,000 sq. ft.

### *Private Lane Neighborhood*

This neighborhood has 92 homes, which are typically arraigned in six-unit groupings. Each lot fronts onto a short private lane that takes access to the lots off of the public streets. A minimum lot size of 2,580 sq. ft. is proposed, providing each home with an individual driveway, and private side & rear yards for personal use. The two-story homes are expected to range in size from 1,800 to 2,200 sq. ft.

The two neighborhood/product types chosen for the project allow for a diverse community, which will appeal to several household types and income levels. The wide range of home square footages and lot sizes/configurations seek to meet the demand for housing in the Antioch area (ie: first time homebuyers, young couples, growing families and move-down empty-nesters).

The community will offer residents one 10,000 SF park containing an all-abilities play structure, a lawn area, and traditional park furniture. Another 5,200 SF sitting park will provide residents with a small lawn area and park furniture for an informal gathering area. From this small pocket park, there will be a trail that will connect to a section of the East Lone Tree Specific Plan's trail system that will parallel the projects western property boundary and will be constructed as a part of Laurel Ranch improvements. The regional trail is a component of the ELTA and it will provide a link between Laurel Road and the Delta De Anza trail, which is a part of the East Bay Regional Park District trail system. The proposed parks and trail amenities will provide residents with recreation opportunities as well as allow neighbors to socialize in a safe environment. Guests who visit Laurel Ranch will find an abundance of guest parking, as the current plan provides 230 off-street guest parking spaces, which exceeds the City's parking requirements by 43 spaces.

Laurel Ranch will have a Homeowners Association (HOA) that will be responsible for maintenance of the common areas (parks, landscaped medians, and internal streets), storm water (C3) facilities, front yard landscaping, and the enforcement of the Covenants, Conditions & Restrictions (CC&R's). A professional and reputable HOA management company will be selected to manage the HOA and will be helpful in maintaining a quality community. The HOA will be funded by Laurel Ranch residents only.

Laurel Ranch is proposed to be a high-quality community and will provide opportunity for 180 new homes in the City of Antioch. The project will provide the much-needed construction of the missing segment of Laurel Road easterly to Highway 4 and take the implementation of the East Lone Tree Specific Plan one significant step further. While the project follows the original intent of the Specific Plan, it makes improvements in product type and lowers overall density. Richland is confident in the merits of the proposed project and believes this project will provide a desirable lifestyle for all of its future residents.





# 1.3 ILLUSTRATIVE NEIGHBORHOOD LOCATION MAP





# 1.4 VESTING TENTATIVE MAP



LAND USE SUMMARY				
LAND USE	NUMBER OF LOTS/PARCELS	ACRES	SQ. FT.	PERCENTAGE
EXISTING BOUNDARY		51.2	2,229,902	
PROPOSED BOUNDARY (GROSS ACRE)		51.8	2,256,369	100%
SINGLE FAMILY HOMES	88	10.4	453,242	20.1%
PRIVATE LANE HOMES	92	7.2	315,281	14.0%
TOTAL LOTS	180	17.7	768,523	34.1%
LAUREL ROAD/COUNTRY HILLS R.O.W.		4.5	194,140	8.6%
PRIVATE STREETS /ALLEYS		6.9	298,922	13.3%
PARKS - PARCELS 'A' & 'B'	2	0.3	14,984	0.7%
COMMERCIAL AREA - PARCEL 'C'	1	9.9	431,693	19.1%
OPEN SPACE - PARCELS 'D','E','F' & 'G'	4	8.6	375,545	16.6%
C.3 AREA - PARCELS 'H', 'I', 'J', 'K', 'L', 'M', 'N' & 'O'	8	3.7	163,144	7.2%
LANDSCAPE - PARCELS 'P', 'Q' & 'R'	3	0.09	3,886	0.17%
PARKING - PARCELS 'S', 'T', 'U' & 'V'	4	0.13	5,472	0.23%

UNIT TYPE	NUMBER OF UNITS	UNITS PER NET ACRE
SINGLE FAMILY HOMES	88 UNITS	8.5
PRIVATE LANE HOMES	92 UNITS	12.8
TOTAL UNITS	180 UNITS	10.2

**LEGEND**

DESCRIPTION	PROPOSED	EXISTING
SUBDIVISION BOUNDARY	—	—
RIGHT OF WAY	—	—
FACE OF CURB	—	—
PROPERTY LINES	—	—
CONTOUR LINES	—10—	—110—
LOT LINE ADJUSTMENT	—	—
PUE	—	—
RETAINING/SOUND WALL	—	—
LIMITS OF GRADING	—	—
SANITARY SEWER LINE, & MANHOLE	— S —	— EX.SS —
STORM DRAIN LINE, MANHOLE, FIELD INLET AND CATCH BASIN	— S —	— EX.SS —
CLEAN STORM DRAIN LINE	—	—
WATER LINE	— W —	— W —
SWALE/ V-DITCH	—	—
PAD ELEVATION	P=125.5	x 125.5
SPOT ELEVATION	x 125.5	x 125.5
STREET SLOPE	2.5%	(R)
RECORD		(R)

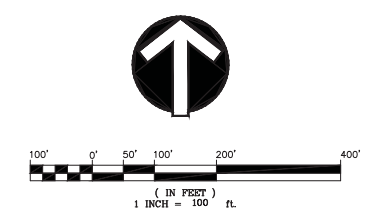
**LAUREL RANCH**  
**FINAL DEVELOPMENT PLAN**  
**VESTING TENTATIVE MAP**  
**SUBDIVISION 8741**

A PORTION OF NORTHWEST 1/4 OF SECTION 34, T.2 E., R.2 E., MDB & M APN 53-060-015

CITY OF ANTIOCH, CALIFORNIA  
 FOR  
 RICHLAND COMMUNITIES  
 APRIL, 2016

**CONSULTING**  
 1440 Mariposa Lane, Suite 200, Walnut Creek, California 94596 (925) 935-8888 Tel. (925) 935-8010 Fax

VESTING TENTATIVE MAP  
 SHEET 3 OF 13





## 2.0 ARCHITECTURAL DEVELOPMENT STANDARDS & GUIDELINES

---

The character of the neighborhoods of Laurel Ranch will be defined by architectural components that can be categorized into three categories: siting, scale, and elevation. Home siting plays an important role in creating a pedestrian friendly environment that is welcoming to both residents and guests alike. Scale refers to the massing and form of a home which can positively affect the character of a neighborhood and quality of the streetscape experience. Diversity in home elevations is important in the development and maintenance of an overall neighborhood character, and when successfully executed, offers a distinct yet cohesive built pattern that can extend to the larger community fabric. These three core components define and strengthen neighborhoods.





# 2.1 SITING

## SITING - CONVENTIONAL NEIGHBORHOOD

### Setbacks

- Setback standards for lots in the Conventional Neighborhood are provided in the table to the right.
- Variation of front building setbacks is encouraged to create rhythm and interest along the streetscape. This can be achieved through providing setbacks beyond the minimum setback requirements as stated in the standards table to the right.
- On lots where there are retaining walls, a 3' flat and unobstructed area must be maintained between the retaining wall and the foundation and building.

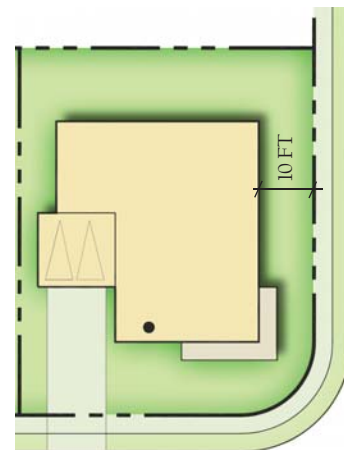


Single Family Front-Loaded Example with Varied Setbacks

### Corner Lots

Corner lots shall have a larger side setback that is facing the street to allow for additional architectural articulation and landscaping.

- Wrap-around building elements such as porches are encouraged on buildings on corner lots to activate the public face and address the two street frontages.



Street Facing Side Setback is Larger than Typical Side Setback

Corner Lot Example

### Side Yards

Side yards shall be a minimum of 4 FT in order to create a usable space. These spaces can allow for placement of trash and recycling receptacles.

- For privacy purposes, windows that face onto side yards will be designed so that they do not align between neighboring homes.

Conventional Neighborhood Lot Standards		
Lot Circumstance	Neighborhood Standards	Notes
<b>Minimum Lot Criteria</b>		
Lot Width	50 FT	
Lot Width for Corner Lot	60 FT	
Lot Depth	80 FT	
<b>Minimum Setback Requirements (front yard to sidewalk)</b>		
Front of Building	12 FT	
Front of Garage	20 FT	
Front of Porch	12 FT	
Side Interior	4 FT	
Side Yard for Corner Lot	10 FT	
Rear	15 FT	
<b>Maximum Building Height</b>		Refer to 6.1.4-D of the City of Antioch's Citywide Design Guidelines Manual for building height guidelines.
Main Structure	35 FT	
<b>Parking</b>		
Garage Spaces	2	

### Encroachments

Specific architectural projections that help define building mass and add to the character of the streetscape are allowed to encroach into required setbacks.

- Examples of allowable projections include: eaves, balconies, bay windows, porches, and awnings.
- For all allowable projections into yards refer to 9-5.801 in Antioch's Zoning Ordinance.



Side Yard Example



Bay Window Example



# 2.1 SITING

## SITING - PRIVATE LANE NEIGHBORHOOD

### Setbacks

- Setback standards for lots in the Private Lane Neighborhood are provided in the table to the right.
- Variation of front building setbacks is encouraged to create rhythm and interest along the streetscape. This can be achieved through providing setbacks beyond the minimum setback requirements as stated in the standards table to the right.
- On lots where there are retaining walls, a 3' flat and unobstructed area must be maintained between the retaining wall and the foundation and building.

### Street Adjacent Lots

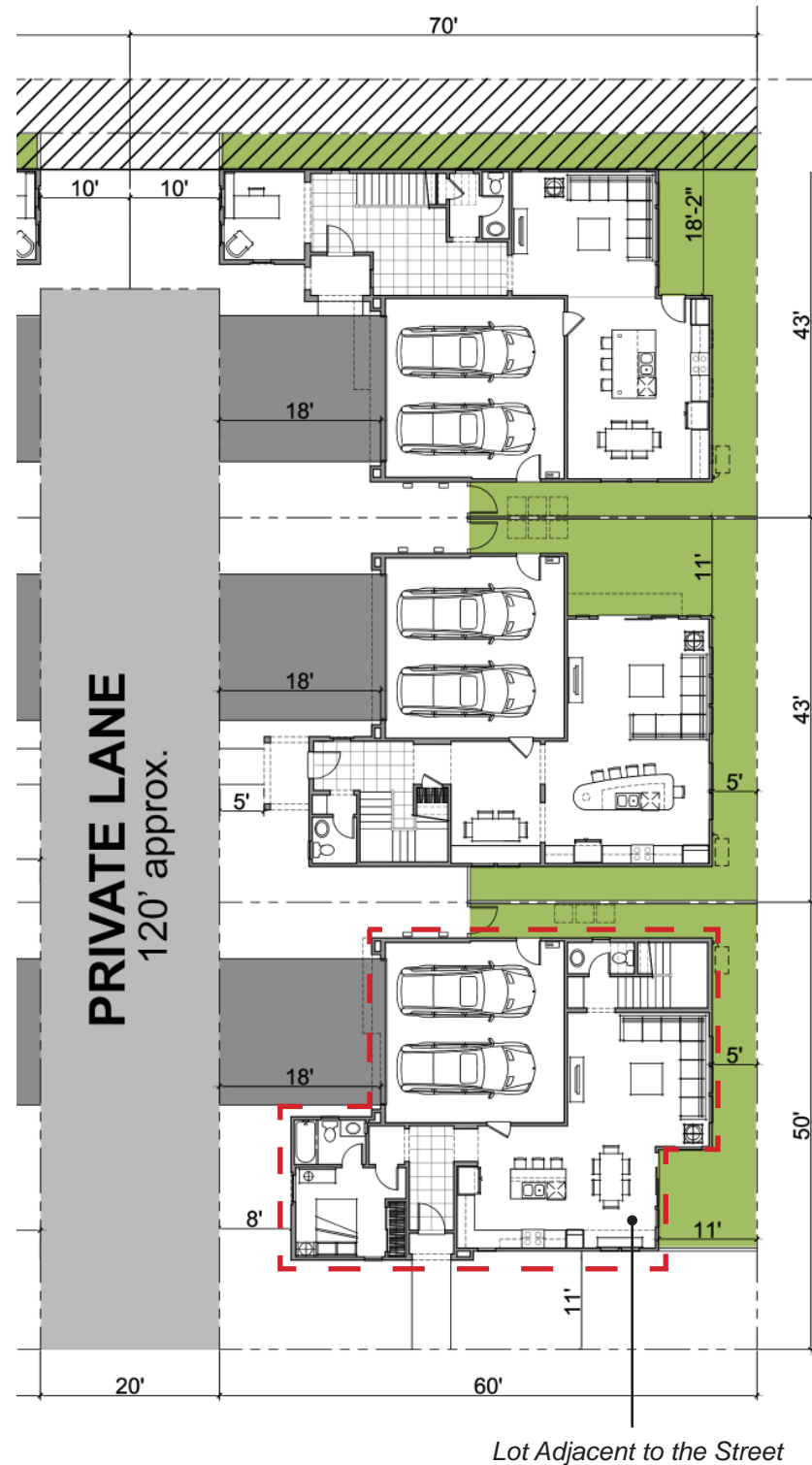
Lots adjacent to the street shall have a larger side setback that is facing the street to allow for additional architectural articulation and landscaping.

- Wrap-around building elements are encouraged on buildings on corner lots to activate the public face and address the two street frontages.

### Side Yards

Side yards shall be a minimum of **4FT** in order to create a usable space. These spaces can allow for placement of trash and recycling receptacles.

- For privacy purposes, windows that face onto side yards will be designed so that they do not align between neighboring homes.



Lot Adjacent to the Street

Private Lane Neighborhood Lot Standards		
Lot Circumstance	Neighborhood Standards	Notes
<b>Minimum Lot Criteria</b>		
Lot Width	43 FT	
Lot Width for Corner Lot	50 FT	
Lot Depth	60 FT	
<b>Minimum Setback Requirements (front yard to private lane)</b>		
Front of Building	8 FT	
Front of Garage	18 FT	
Front of Porch	5 FT	
Side Interior	4 FT	
Side Yard for Corner Lot	10 FT	
Side Adjacent to Sound Wall	10 FT	
Rear	5 FT	
<b>Maximum Building Height</b>		
Main Structure	35 FT	Refer to 6.1.4-D of the City of Antioch's Citywide Design Guidelines Manual for building height guidelines.
<b>Parking</b>		
Garage Spaces	2	

### Encroachments

Specific architectural projections that help define building mass and add to the character of the streetscape are allowed to encroach into required setbacks.

- Examples of allowable projections include: eaves, balconies, bay windows, porches, and awnings.
- For all allowable projections into yards refer to 9-5.801 in Antioch's Zoning Ordinance.



Side Yard Example



Porch Example



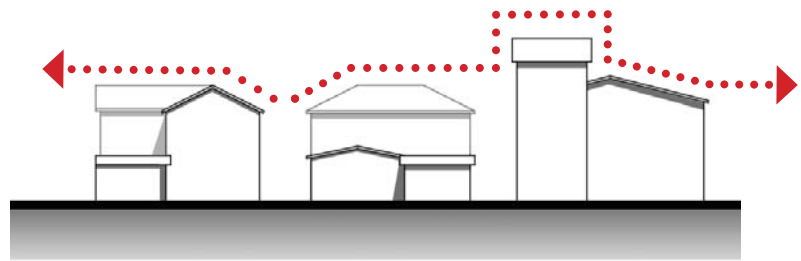
# 2.2 SCALE

## SCALE - IN GENERAL

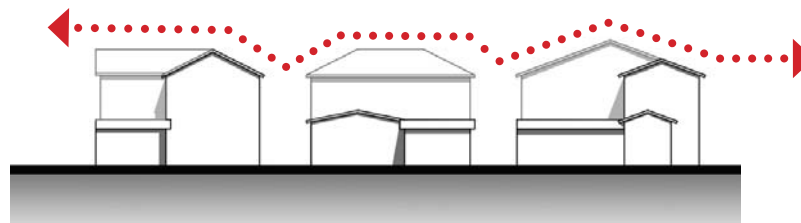
### Massing

To create variety and visual interest along the streetscape, the massing of buildings shall be articulated, diverse, and harmonious in scale.

- Building wall planes shall be staggered to offer refinement of building massing. This can occur on the horizontal plane and/or vertical plane.
- Projections and architectural elements appropriate to the architectural style of the building are encouraged as they also help refine massing and add interest to the streetscape.



*Out of Scale Streetscape Example*



*Harmonious Scale Example*

### Roof Forms

Variation of roof forms shall occur to allow for the creation of an interesting roofscape and streetscape.

- Roof forms can include but are not limited to: gable, hip, and shed. Generally flat roofs are not allowed.
- Roof pitches and overhangs shall be appropriate to the architectural character of the building.
- Combination of different roof forms on a building is encouraged to promote visual interest and articulation of building massing.



*Gable Roof Example*



*Hip Roof Example*



*Shed Roof Example*



*Example of a Visually Interesting Streetscape With Harmonious Scale*



# 2.3 ELEVATIONS

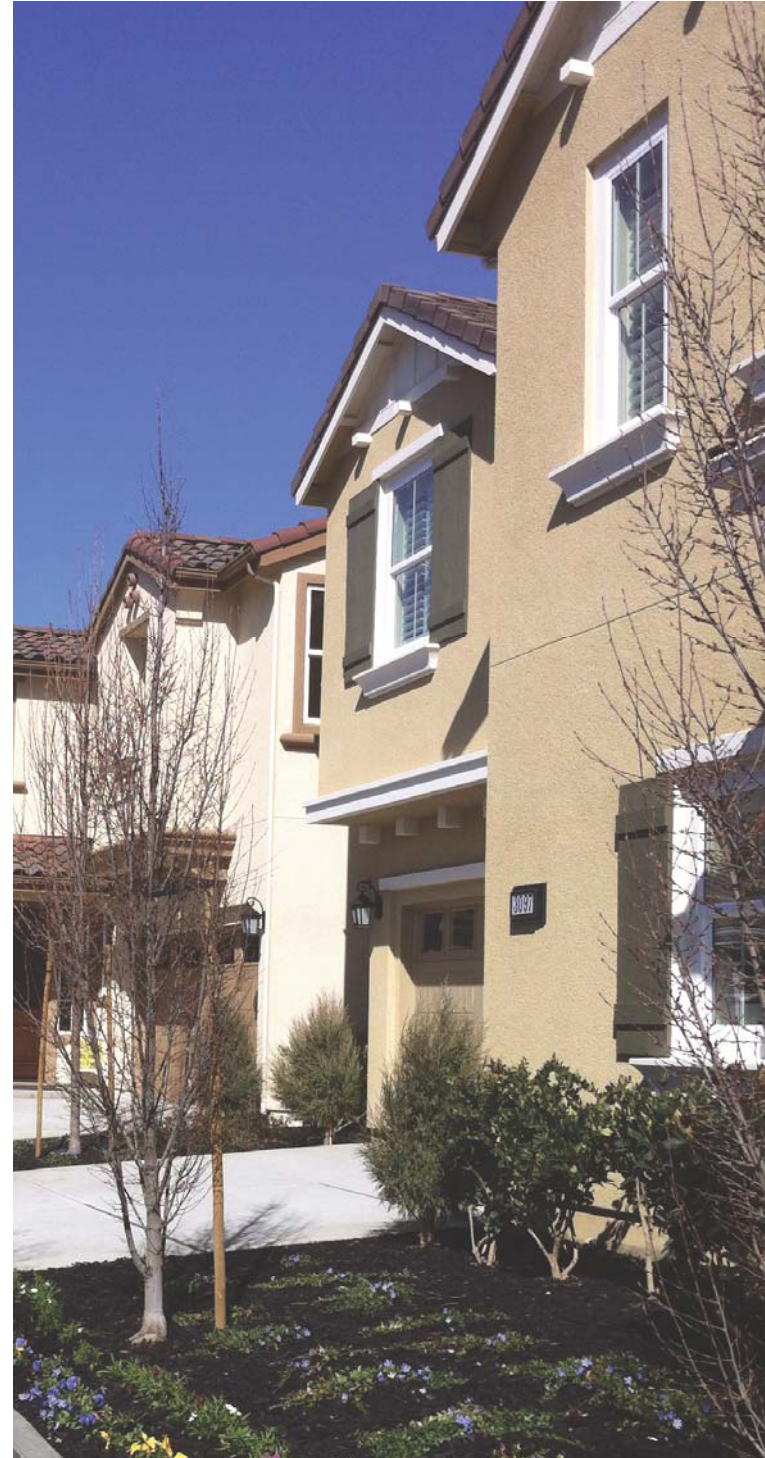
## ELEVATIONS - IN GENERAL

### Engaged Design

Engaged design, in general, refers to building design that responds to the streetscape and enhances the public realm. To this end, the same level of building design and articulation should apply to all elevations visible to the public.



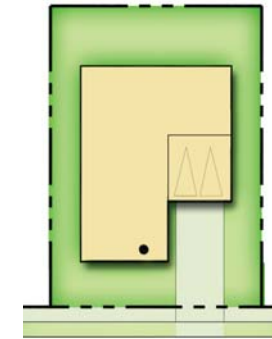
*Well Articulated Elevations in a Private Lane Neighborhood*



### Garages and Driveways

To create a more pedestrian friendly streetscape and promote architecture forward design, front-loaded buildings shall have the garage setback further than the living spaces of the building.

- Garage doors shall be designed so they are not the primary focus in the streetscape and will be complementary to the overall architectural character of the home.
- Garage door designs shall vary along the street, with no more than two neighboring homes using the same design and pattern.
- Minimal standard driveway widths are encouraged so that they do not negatively impact the streetscape and walkability within the neighborhood.



*Recessed Garage*



*Example of Garage Doors Not Being the Primary Focus in the Streetscape*



*Garage Door Receives Same Level of Design Detail as the Rest of the Home*





# 2.3 ELEVATIONS

## ELEVATIONS - IN GENERAL CONTINUED

### Entryways

The entryway to a building is an important component of the building and overall streetscape. As the threshold between the private and public space, the entryway can include one of the following elements:

- Porch
- Portico
- Trellis



*Porch Covers Entry and Provides Outdoor Space*

### Windows and Doors

- Windows and doors shall be designed to reflect the overall architectural character of the building.
- Window and door materials shall not include reflective glass, as it creates glare.



*These Shutters are Proportional to the Window*

### Colors and Materials

Colors and materials have a direct impact on the character of the streetscape and neighborhood. To create a visually interesting and harmonious streetscape, buildings shall use high-quality, durable materials that will weather well and reflect the home's architectural character. This can include, but is not limited to:

- Board and batten siding
- Stone or brick veneer
- Stucco



*Harmonious Colors and Materials*

### Colors and Materials Continued

- Color and material blocking of buildings shall not terminate at outside corners and shall wrap to appropriate transition points.

### Details

- Building details shall enhance and complement the overall building design and its associated architectural character.
- Building details shall occur wherever the building is visible to the public.
- Details such as window shutters, accent trim, rafters, planter boxes, etc. shall be designed to be proportional to the element they are enhancing and fit the architectural style of the home.

### Lighting

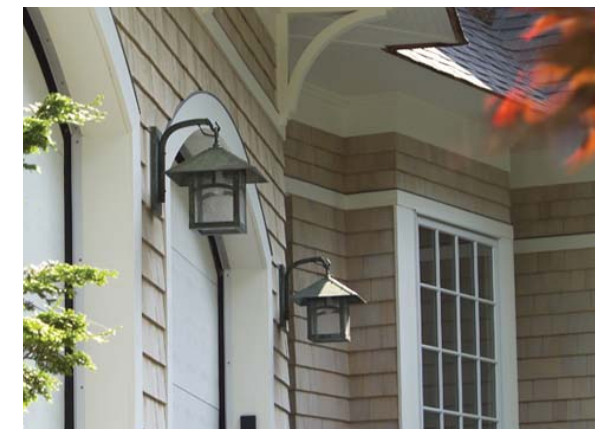
- Exterior lighting fixtures shall complement the overall architectural style of the building.
- Lighting fixtures shall not create glare or spillover to adjacent neighbors.



*Example of Variation in Window Details*



*Example of Accent Trim*



*Exterior Light Fixture Complements the Home's Architectural Character*



# 3.0 CONCEPTUAL FLOOR PLANS & ELEVATIONS

Architectural character refers to the architectural design and style of a home. Within Laurel Ranch, the architectural character will be established based upon the two neighborhoods that comprise the community, the context and the history of the City and surrounding area. This section provides **CONCEPTUAL** floor plans and elevations as examples of the architectural character of Laurel Ranch. These floor plans and elevations should be used for **REFERENCE ONLY**.

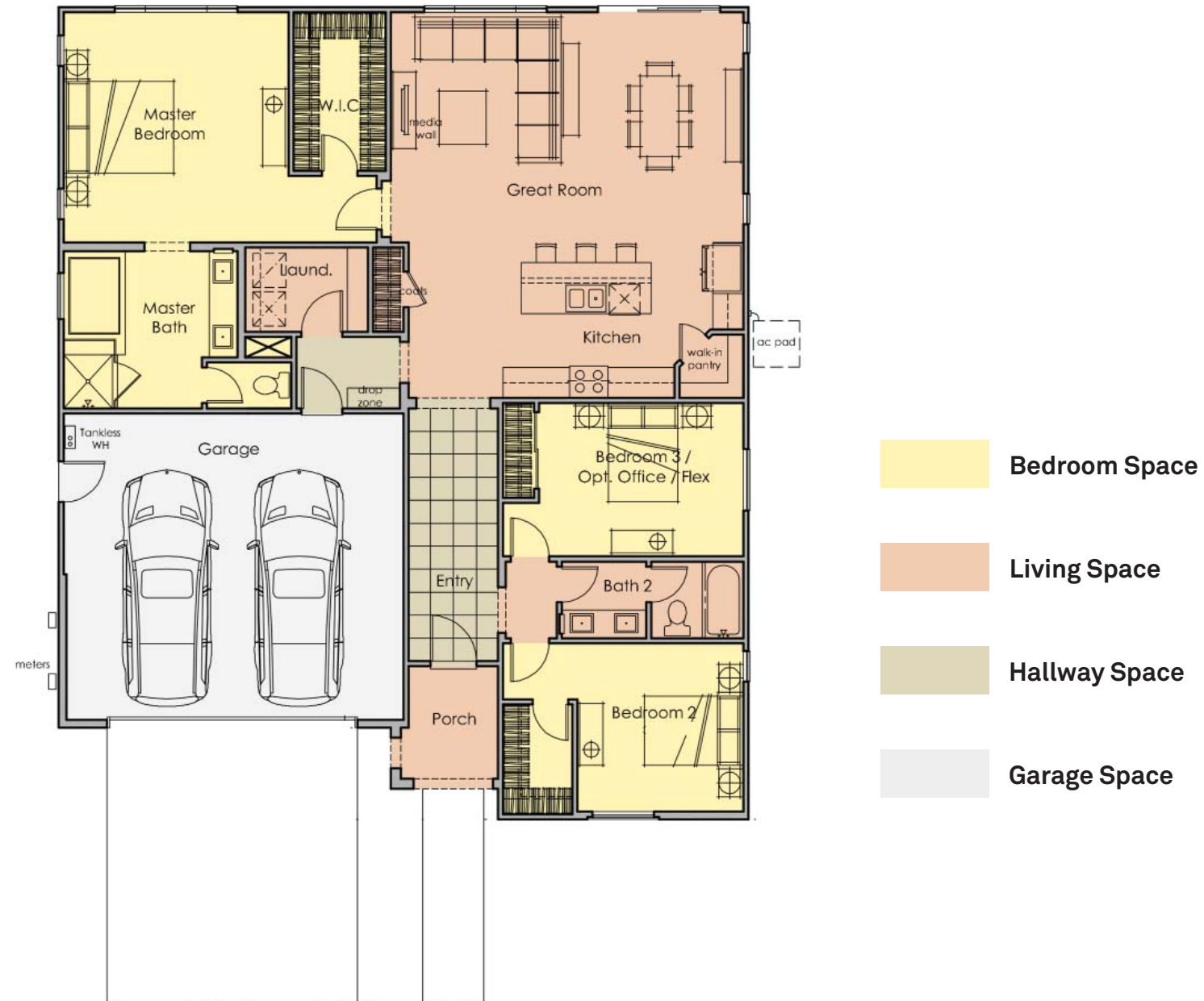




# 3.1 CONVENTIONAL CONCEPTUAL FLOOR PLAN 1 - SINGLE STORY

\*FLOOR PLANS ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE

3 BEDROOMS  
OPT. OFFICE  
2 BATHS  
1,727 s.f.





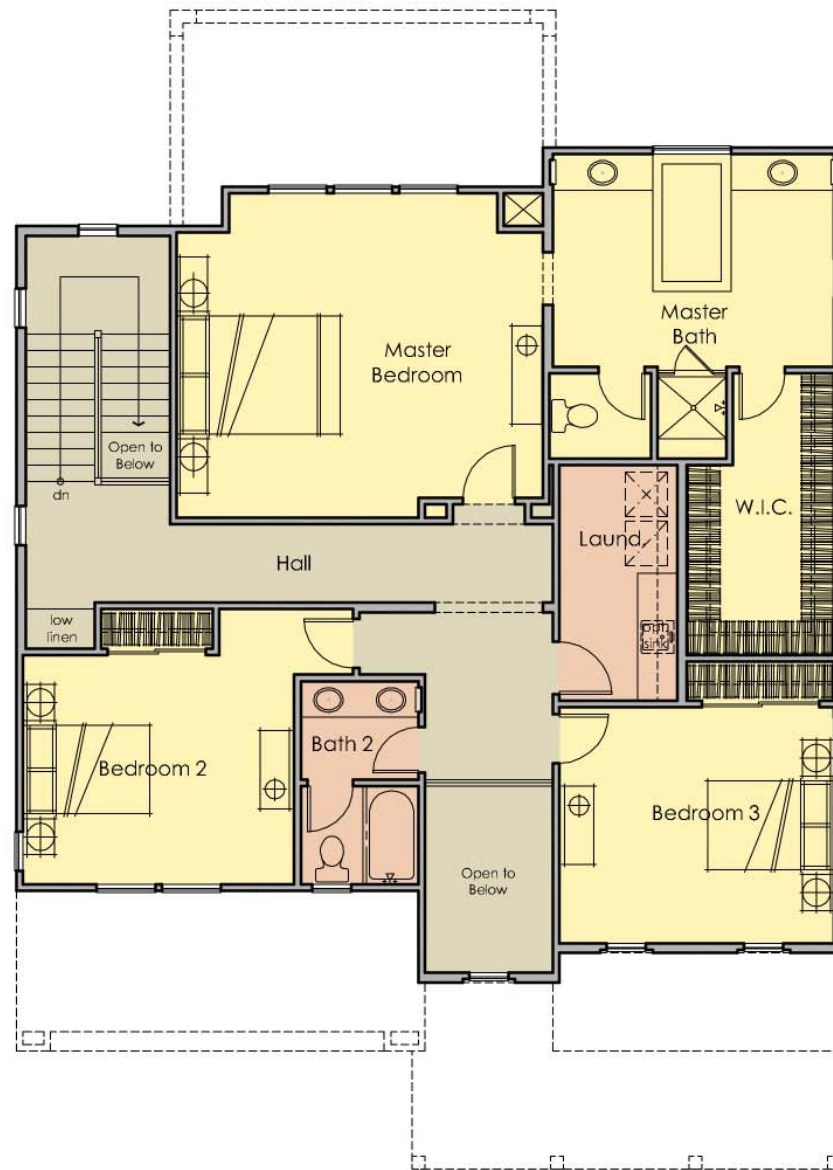
# 3.1 CONVENTIONAL CONCEPTUAL FLOOR PLAN 2

\*FLOOR PLANS ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE

4 BEDROOMS

3 BATHS

2,729 s.f.



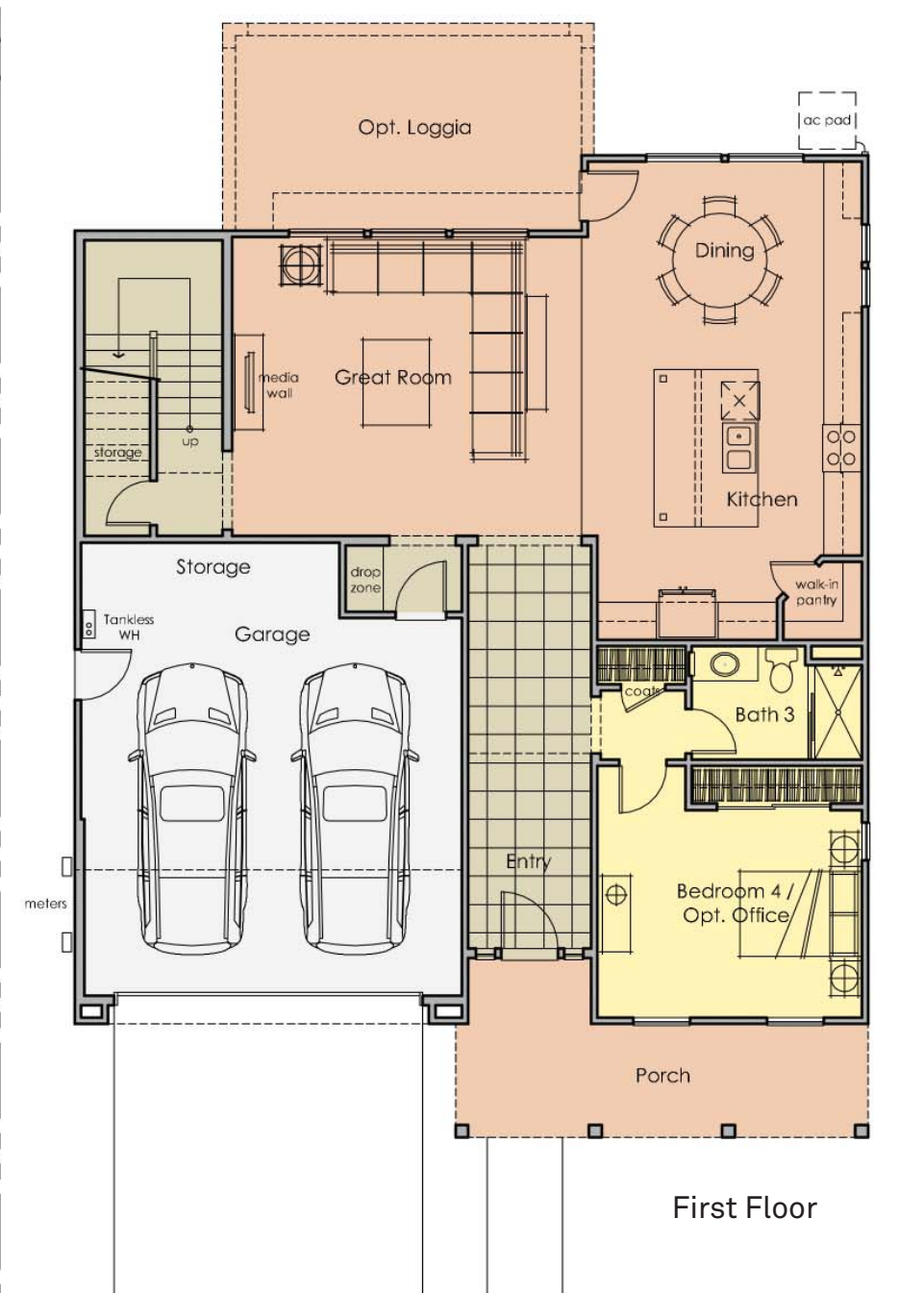
Second Floor

Bedroom Space

Living Space

Hallway Space

Garage Space



First Floor



# 3.1 CONVENTIONAL CONCEPTUAL FLOOR PLAN 3

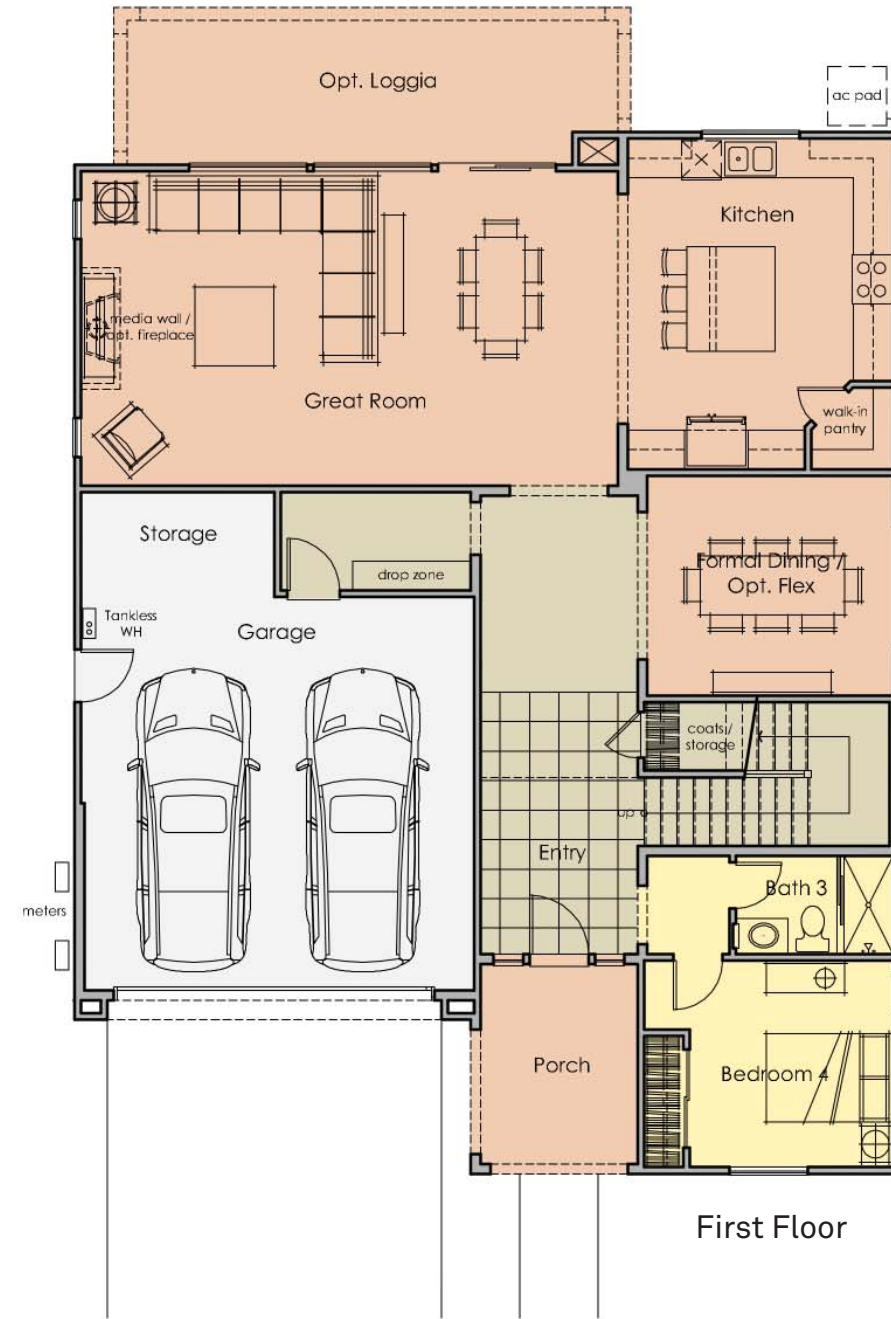
\*FLOOR PLANS ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE

4 BEDROOMS  
 OPT. LOFT  
 3 BATHS  
 3,000 s.f.



Second Floor

- Bedroom Space
- Living Space
- Hallway Space
- Garage Space



First Floor



## 3.2 CONVENTIONAL CONCEPTUAL ELEVATIONS



**TRADITIONAL FARMHOUSE**

- Asymmetrical Massing
- Hip and Gable Roofs
- Wood Brackets and/or Kickers
- Wood Porch Posts

**CONTEMPORARY FARMHOUSE**

- Asymmetrical Massing
- Low Pitched Hip and Occasional Gable Roof
- Use of Arch Elements at Doors or Feature Window
- Proportional Window Shutters



**SPANISH**

- Asymmetrical Massing
- Low to Medium Pitched Hip or Gable Roofs
- Enhanced Entry Ways
- Stucco and/or Stone Veneer



# 3.3 CONVENTIONAL CONCEPTUAL IMAGERY



**\*IMAGES ARE FOR REFERENCE ONLY. ARCHITECTURAL DESIGN WILL BE SUBMITTED WITH APPLICATION.**



# 3.4 PRIVATE LANE CONCEPTUAL FLOOR PLAN 1

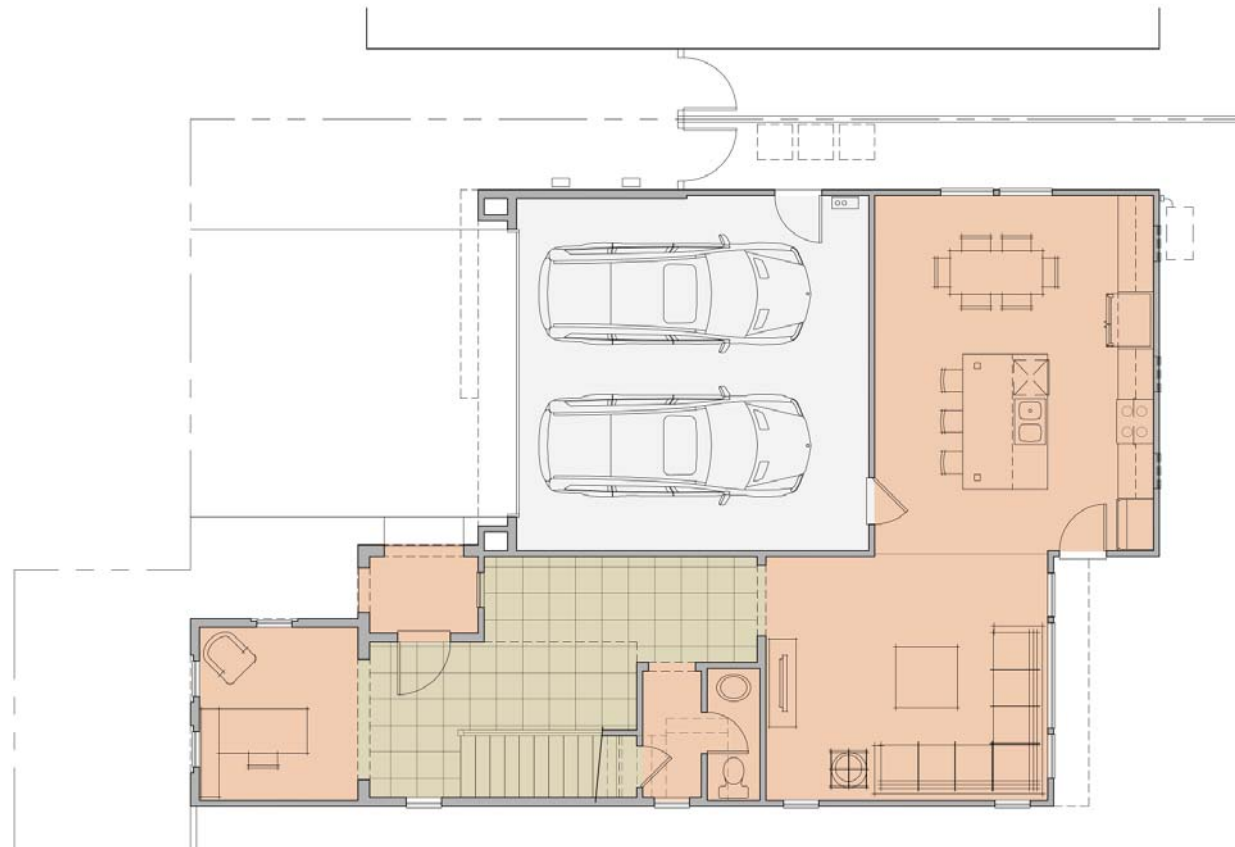
\*FLOOR PLANS ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE

4 BEDROOMS  
2.5 BATHS  
2,000- 2,200 s.f.



Second Floor

-  Bedroom Space
-  Living Space
-  Hallway Space
-  Garage Space



First Floor





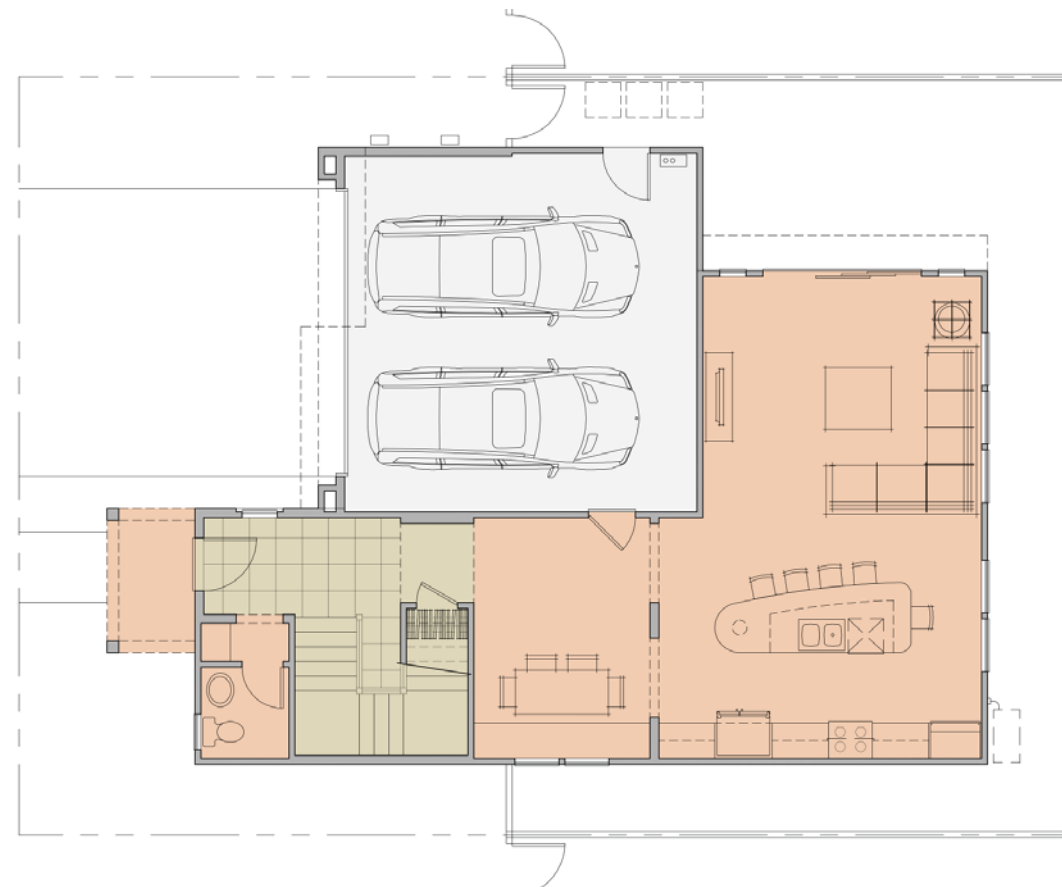
# 3.4 PRIVATE LANE CONCEPTUAL FLOOR PLAN 2

\*FLOOR PLANS ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE

3 BEDROOMS  
2.5 BATHS  
2,000- 2,200 s.f.



Second Floor



First Floor

- Bedroom Space
- Living Space
- Hallway Space
- Garage Space





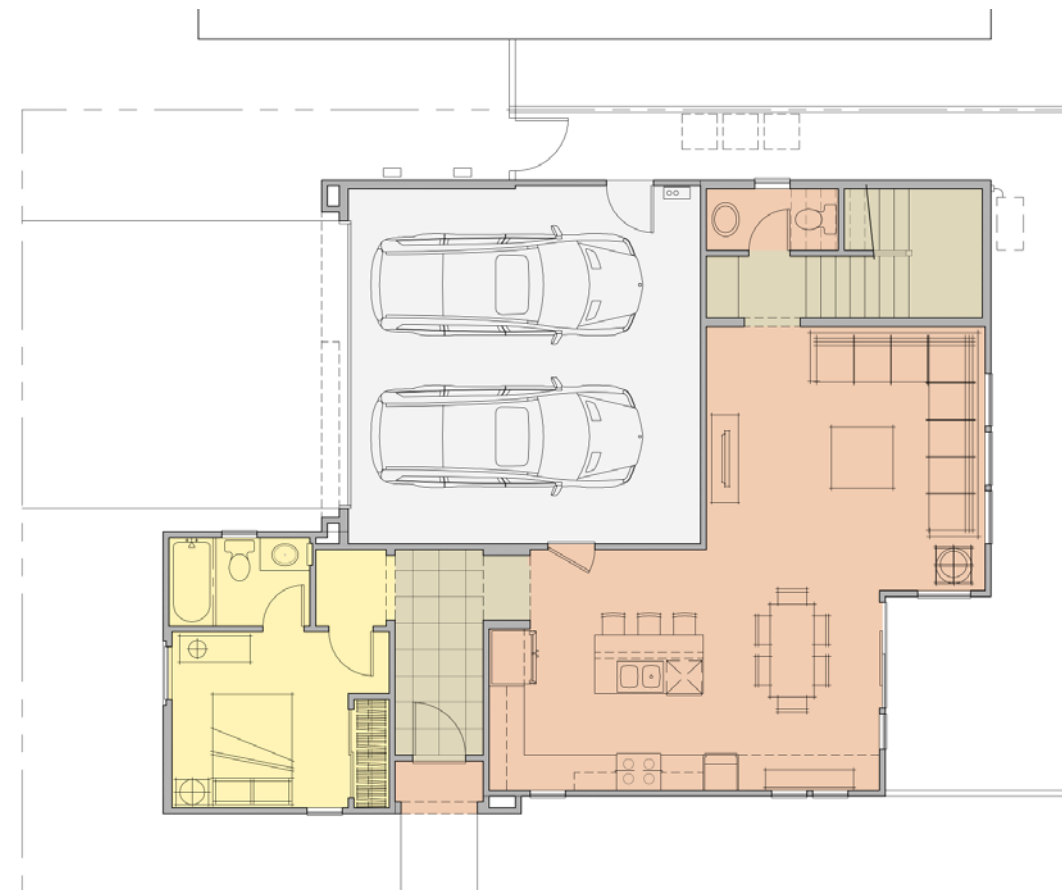
# 3.4 PRIVATE LANE CONCEPTUAL FLOOR PLAN 3

\*FLOOR PLANS ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE

3 BEDROOMS  
3.5 BATHS  
2,000- 2,200 s.f.



Second Floor



First Floor

- Bedroom Space
- Living Space
- Hallway Space
- Garage Space





# 3.5 PRIVATE LANE CONCEPTUAL ELEVATIONS



**WEST COAST CLASSIC**

- Asymmetrical Massing
- Low-Pitched Gable and/or Hip Roofs
- Overhanging Eaves
- Stone Veneer & Stucco Finish

**AMERICANA**

- Asymmetrical Massing
- Medium to Steeply Pitched Gable Roofs
- Board and Batten Accent Siding
- Lap Siding
- Brick Veneer & Stucco Finish

**COUNTRY EUROPEAN**

- Asymmetrical massing
- Hip and Gable Roofs
- Fully Rounded Arched Elements
- Proportioned Window Shutters



## 3.6 PRIVATE LANE CONCEPTUAL IMAGERY



**\*IMAGES ARE FOR REFERENCE ONLY. ARCHITECTURAL DESIGN WILL BE SUBMITTED WITH APPLICATION.**



## 4.0 LANDSCAPE GUIDELINES

Landscape elements encompass the soft and hard parts of the streetscape including, but not limited to: street trees, plant materials, and paving materials. The landscape elements of a neighborhood are important as they can provide visual cues that evoke placemaking and identity for the residents and area while helping to create a comfortable and inviting environment for its users. This section provides **CONCEPTUAL** illustrations as examples of the landscape character of Laurel Ranch. These illustrations should be used for **REFERENCE ONLY**.





# 4.1 OVERALL SITE PLAN



**FIRMA DESIGN GROUP**  
 planners • civil engineers • landscape architects  
 www.firmadesigngroup.com  
 418 B Street, Third Street  
 Santa Rosa, California 95403  
 telephone • 707.792.1800

Prepared Under the Direction of:  
  
 Michael A. Cook  
 R.L.A. 5123 Exp. 11/30/16

RICHLAND COMMUNITIES - LAUREL RANCH  
 ANTIPOCH, CALIFORNIA  
**TENTATIVE MAP  
 OVERALL SITE PLAN**

#	Date	By	Revision

Designed: KFW, NLC  
 Checked: MAC  
 Date: 04/18/16  
 Sheet: L1.0

**L1.0**  
 of 8 Sheets  
 Job No. 0515-010

DRAWING IS PRELIMINARY UNLESS STAMPED & WET SIGNED



# 4.2 PARK 'A' PLAN

**PLANTING LEGEND**

KEY	BOTANICAL NAME	WUCOLS	COMMON NAME	SIZE	QTY	REMARKS
<b>STREET TREES</b>						
CS	CELSTIS SINENSIS	L	CHINESE HACKBERRY	----	---	STANDARD TREE FORM
FD	FRAXINUS OXYCARPA 'RAYWOOD'	M	RAYWOOD ASH	----	---	STANDARD TREE FORM
LJ	LACERSTROBIA INDICA	L	CRAPE MYRTLE	----	---	STANDARD TREE FORM
MB	MAYTENUS BOARIA	M	MAYTEN TREE	----	---	STANDARD TREE FORM
PC	PISTACIA CHINENSIS	L	CHINESE PISTACHE	----	---	STANDARD TREE FORM
PY	PIRUS CALLERYANA 'BRADFORD'	M	BRADFORD PEAR	----	---	STANDARD TREE FORM
PK	PIRUS KAWAKAMI	M	EVERGREEN PEAR	----	---	STANDARD TREE FORM
<b>SHRUBS/GROUNDCOVERS</b>						
AB	ARCUSTOAPHYLLOS 'EMERALD CARPET'	M	MANZANITA	----	---	5' O.C. & SPACING
BP	BACCHARIS PILLULARIS	L	DWARF COYOTE BRUSH	----	---	6' O.C. & SPACING
CC	CEANDITHUS G. 'ANCHOR BAY'	L	WILD LILAC	----	---	6' O.C. & SPACING
CP	CISTUS PURPUREUS	L	ORCHD ROCKROSE	----	---	4'-5' O.C. & SPACING
ER	ESCALLONIA RUBRA 'CP BALL'	M	C.F. BALL ESCALLONIA	----	---	5' O.C. & SPACING
FR	FREMONTAZENION 'KEN TAYLOR'	XL	FLAMEL BUSH	----	---	6' O.C. & SPACING
LE	LEPTOSPERMUM S. 'RUBY GLOW'	M	NEW ZEALAND TEA TREE	----	---	5' O.C. & SPACING
PB	PEROVSKIA 'BLUE SPIRE'	L	RUSSIAN SAGE	----	---	5' O.C. & SPACING
PM	PHORMIUM TENAX 'MADRI MADEN'	L	FLAX	----	---	3' O.C. & SPACING
PP	PHORMIUM TENAX 'PINK STRIPE'	L	FLAX	----	---	6' O.C. & SPACING
RC	ROSMARINUS Q. PROSTRATUS	L	PROSTRATE ROSEMARY	----	---	6' O.C. & SPACING
<b>GRASSES</b>						
MU	MUHLENBERGIA 'REGAL MIST'	L	PINK MUHLY GRASS	----	---	4' O.C. & SPACING
<b>VINES</b>						
PA	PARTHENOSSUS TRICUSPIDATA	L	BOSTON IVY	----	---	TRAIN TO GROW ON WALLS

NOTE: PLANTING SELECTION IS CONCEPTUAL AND IS SUBJECT TO CHANGE



PLAY STRUCTURE



PERGOLA



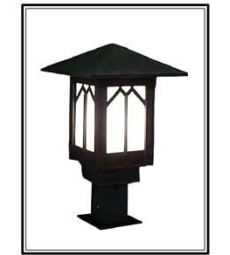
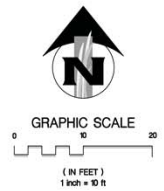
PICNIC TABLE



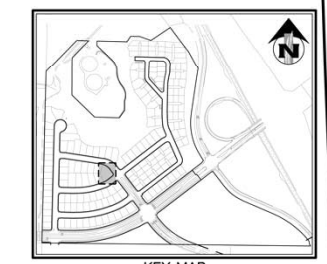
BENCH



SPLIT RAIL FENCE



LIGHT FIXTURE POST MOUNTED



**FIRMA DESIGN GROUP**  
planners • civil engineers • landscape architects

www.firmadesigngroup.com  
1425 N. McDowell Blvd., Suite 130  
Petaluma, California 94954  
Telephone • 707.762.1800  
Fax • 707.762.1852

Prepared Under the Direction of:

Michael A. Cook  
RLA 5123 Exp. 11/30/16

RICHLAND COMMUNITIES - LAUREL RANCH  
ANTIOCH, CALIFORNIA  
**TENTATIVE MAP**  
**SITE PLAN - PARK 'A'**

Revision	Date	By

Designed: KPW, NCC  
Checked: MAC  
Date: 04/15/15  
Sheet: **L1.1**  
of 8 Sheets  
Job No. 0515-010

DRAWING IS PRELIMINARY UNLESS WET STAMPED & SIGNED



# 4.3 PARK 'B' PLAN



## PLANTING LEGEND

KEY	BOTANICAL NAME	WUCOLS	COMMON NAME	SIZE	QTY	REMARKS
<b>STREET TREES</b>						
CS	CELTIS SINENSIS	L	CHINESE HACKBERRY	---	---	STANDARD TREE FORM
FO	FRAXINUS GYCARPA 'RAYWOOD'	M	RAYWOOD ASH	---	---	STANDARD TREE FORM
IJ	LACINSTRIMA INDICA	L	GRAPE WITILE	---	---	STANDARD TREE FORM
MB	MAYTENUS BOARIA	M	MAYTEN TREE	---	---	STANDARD TREE FORM
PC	PISTACIA CHINENSIS	L	CHINESE PISTACHE	---	---	STANDARD TREE FORM
PY	PYRUS CALLERYANA 'BRADFORD'	M	BRADFORD PEAR	---	---	STANDARD TREE FORM
PK	PYRUS KANAKAMI	M	EVERGREEN PEAR	---	---	STANDARD TREE FORM
<b>SHRUBS/GROUNDCOVERS</b>						
AR	ARCTOSTAPHYLOS EMERALD CARPET	M	MANZANITA	---	---	5' O.C. & SPACING
BP	BACCHARIS PILLULARIS	L	DMARF COYOTE BRUSH	---	---	6' O.C. & SPACING
CC	CEANOTHUS G. 'ANCHOR BAY'	L	WLD LILAC	---	---	6' O.C. & SPACING
CP	OSTIS PURPUREUS	L	ORCHID ROCKROSE	---	---	4'-5" O.C. & SPACING
ER	ESCALLONIA RUBRA 'CF. BALL'	M	'CF. BALL' ESCALLONIA	---	---	5' O.C. & SPACING
FR	FREMONTIENSIS 'KEN TAYLOR'	M	FLAMEL BUSH	---	---	6' O.C. & SPACING
LE	LEPTOSPERMUM S. 'RUBY GLOW'	M	NEW ZEALAND TEA TREE	---	---	5' O.C. & SPACING
PB	PEROVSKIA 'BLUE SPIRE'	L	RUSSIAN SAGE	---	---	5' O.C. & SPACING
PM	PHORMIUM TENAX 'MADR MADEN'	L	FLAX	---	---	3' O.C. & SPACING
PP	PHORMIUM TENAX 'PINK STRIPE'	L	FLAX	---	---	6' O.C. & SPACING
RG	ROSMARINUS Q. PROSTRATUS	L	PROSTRATE ROSEMARY	---	---	6' O.C. & SPACING
<b>GRASSES</b>						
MU	MUHLENBERGIA 'REGAL MIST'	L	PINK MUHLY GRASS	---	---	4' O.C. & SPACING
<b>VINES</b>						
PA	PARTHENOSSUS TRICUSPIDATA	L	BOSTON IVY	---	---	TRAIN TO GROW ON WALLS

NOTE: PLANTING SELECTION IS CONCEPTUAL AND IS SUBJECT TO CHANGE

**FIRMA DESIGN GROUP**  
 PLANNERS - CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

www.firmedesigngroup.com  
 1425 N. McDowell Blvd, Suite 130  
 Petaluma, California 94954  
 Telephone + 707.792.1800  
 Fax + 707.792.1852

Prepared Under the Direction of:



Michael A. Cook  
 RLA 5123 Exp. 11/00/16

RICHLAND COMMUNITIES - LAUREL RANCH  
 ANTIPOCH, CALIFORNIA  
**TENTATIVE MAP**  
**SITE PLAN - PARK 'B'**

Revision	

Designed: KFW, NCC  
 Checked: MAC  
 Date: 04/15/15  
 Sheet: L1.2

of 8 Sheets  
 Job No. 0515-010



# 4.4 PRIVATE LANE TYPICALS: LOTS 54-59

KEY	BOTANICAL NAME	WUCOLS	COMMON NAME	SIZE	QTY	REMARKS
<b>STREET TREES</b>						
CS	CELTIS SINENSIS	L	CHINESE HACKBERRY	---	---	STANDARD TREE FORM
FD	FRAXINUS OXYCARPA 'RAYWOOD'	M	RAYWOOD ASH	---	---	STANDARD TREE FORM
LI	LACINIUM INDICA	L	ORANGE MIMBLE	---	---	STANDARD TREE FORM
MB	MAYTENUS BOARIA	M	MAYTEN TREE	---	---	STANDARD TREE FORM
PC	PISTACHIA CHINENSIS	L	CHINESE PISTACHE	---	---	STANDARD TREE FORM
PY	PIRUS CALLERYANA 'BRADFORD'	M	BRADFORD PEAR	---	---	STANDARD TREE FORM
PK	PIRUS KAWAKAMI	M	EVERGREEN PEAR	---	---	STANDARD TREE FORM
<b>SHRUBS/GROUNDCOVERS</b>						
AR	ARCTOSTAPHYLOS 'EMERALD CARPET'	M	MANZANITA	---	---	5' O.C. & SPACING
BH	BACCHARIS PILULARIS	L	DWARF COYOTE BRUSH	---	---	6' O.C. & SPACING
CC	CEANOTHUS G. 'ANCHOR BAY'	L	WLD LILAC	---	---	6' O.C. & SPACING
OP	CISTIS PURPUREUS	L	ORCHID ROCKROSE	---	---	4'-5" O.C. & SPACING
ER	ESCALLONIA RUBRA 'CP BALL'	M	CF. BALL ESCALLONIA	---	---	5' O.C. & SPACING
FR	FREMONTIENSON 'KEN TAYLOR'	M	FLANDEL BUSH	---	---	6' O.C. & SPACING
LE	LEPTOSPERMUM S. 'RUBY GLOW'	M	NEW ZEALAND TEA TREE	---	---	5' O.C. & SPACING
PB	PEROVSKIA 'BLUE SPIRE'	L	RUSSIAN SAGE	---	---	5' O.C. & SPACING
PM	PHORMIUM TENAX 'MAORI MAIDEN'	L	FLAX	---	---	3' O.C. & SPACING
PP	PHORMIUM TENAX 'PINK STRIPE'	L	FLAX	---	---	6' O.C. & SPACING
RG	ROSMARINUS Q. PROSTRATUS	L	PROSTRATE ROSEMARY	---	---	6' O.C. & SPACING
<b>GRASSES</b>						
MU	MUHLENBERGIA 'REAL MIST'	L	PINK MUHLY GRASS	---	---	4' O.C. & SPACING
<b>VINES</b>						
PA	PARITHEOSSUS TRICUSPIDATA	L	BOSTON IVY	---	---	TRAIN TO GROW ON WALLS



**FIRMA DESIGN GROUP**  
 PLANNERS • SITE ENGINEERS • LANDSCAPE ARCHITECTS

www.firmadesigngroup.com  
 1425 N. McDowell Blvd. Suite 130  
 Redlands, California 94054  
 Telephone • 707.792.1900  
 Fax • 707.792.1852



RICHLAND COMMUNITIES - LAUREL RANCH  
 ANTIPOCH, CALIFORNIA

TENTATIVE MAP

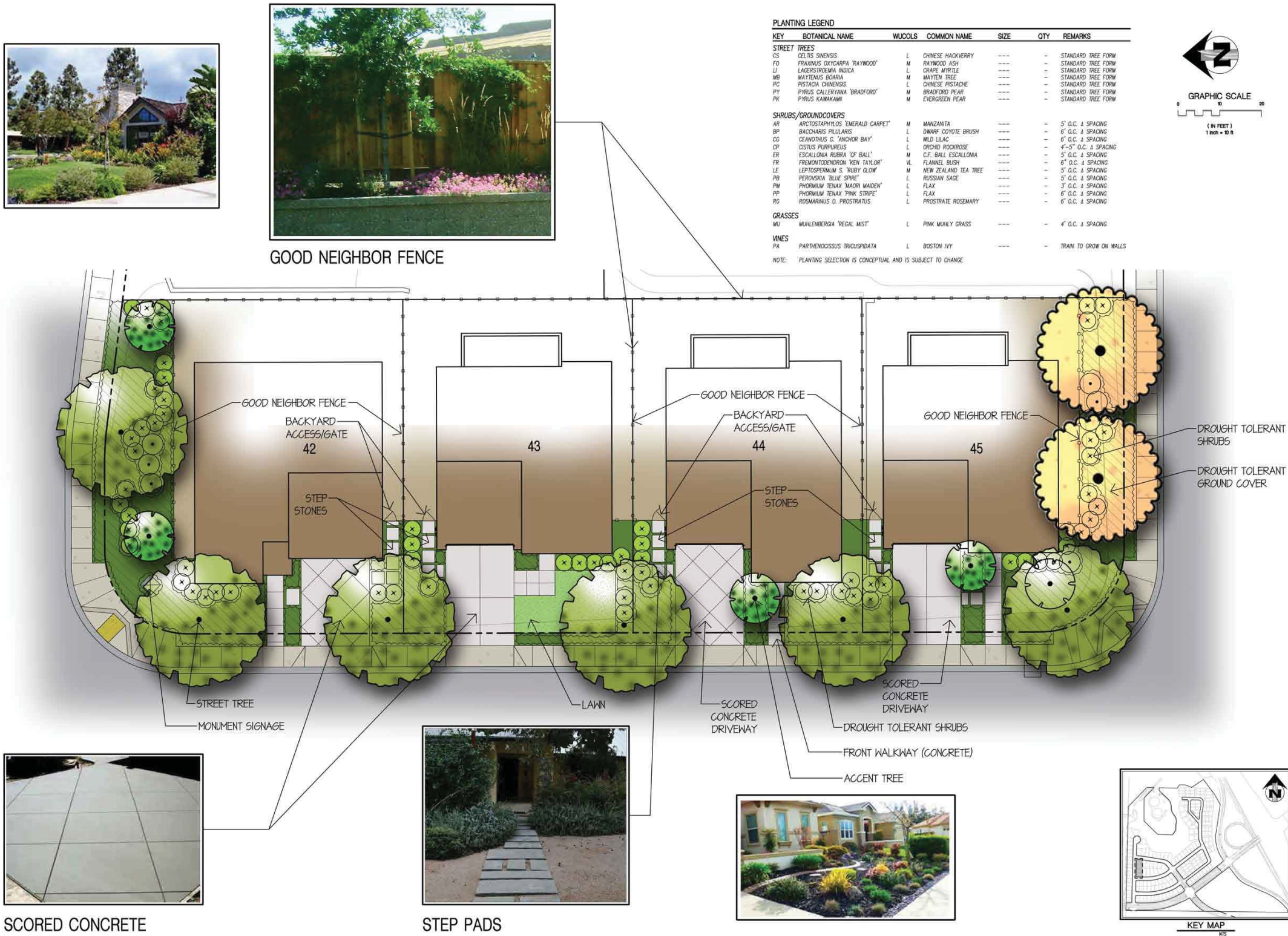
PRIVATE LANE TYPICALS: LOTS 54-59

Designed	KFW, NCC
Checked	MAC
Date	04/15/15
Sheet	L1.3
of 8 Sheets	
Job No. 0515-010	

DRAWING IS PRELIMINARY UNLESS WET STAMPED & SIGNED



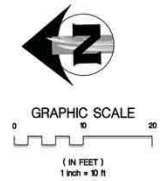
# 4.5 CONVENTIONAL TYPICALS: LOTS 42-45



**PLANTING LEGEND**

KEY	BOTANICAL NAME	WUCOLS	COMMON NAME	SIZE	QTY	REMARKS
<b>STREET TREES</b>						
CS	CELIS SINENSIS	L	CHINESE HAZELHERRY	---	---	STANDARD TREE FORM
FO	FRAXINUS DYMICARPA 'RAYWOOD'	M	RAYWOOD ASH	---	---	STANDARD TREE FORM
LI	LACONOSTROPHIA INDICA	L	CHAPE WATTLE	---	---	STANDARD TREE FORM
MB	MAYTENUS BOARIA	M	MAYTEN TREE	---	---	STANDARD TREE FORM
PC	PISTACIA CHINENSIS	L	CHINESE PISTACHE	---	---	STANDARD TREE FORM
PIY	PIRUS CALLEVERANA 'BRADFORD'	M	BRADFORD PEAR	---	---	STANDARD TREE FORM
PK	PIRUS KAWAKAMI	M	EVERGREEN PEAR	---	---	STANDARD TREE FORM
<b>SHRUBS/GROUNDCOVERS</b>						
AR	ARCTOSTAPHYLOS 'EMERALD CARPET'	M	MANZANITA	---	---	5' O.C. & SPACING
BP	BACCHARIS PILULARIS	L	DWARF CLOYDIE BRUSH	---	---	6' O.C. & SPACING
CG	CEANOTHUS G. 'ANCHOR BAY'	L	WILD LILAC	---	---	6' O.C. & SPACING
CP	CISTUS PURPUREUS	L	ORCHID ROCKROSE	---	---	4'-5" O.C. & SPACING
ER	ESCALONIA RUBRA 'OF BALL'	M	C.F. BALL ESCALONIA	---	---	5' O.C. & SPACING
FR	FREMONTODENDRON 'KEN TAYLOR'	VL	FLAMEL BUSH	---	---	6' O.C. & SPACING
LE	LEPTOSPERMUM S. 'BLUE GLOW'	M	NEW ZEALAND TEA TREE	---	---	5' O.C. & SPACING
PB	PEROVSKIA 'BLUE SPIRE'	L	RUSSIAN SAGE	---	---	5' O.C. & SPACING
PM	PHORMIUM TENAX 'MADR MADEN'	L	FLAX	---	---	3' O.C. & SPACING
PP	PHORMIUM TENAX 'PINK STRIPE'	L	FLAX	---	---	6' O.C. & SPACING
RG	ROSMARINUS O. PROSTRATUS	L	PROSTRATE ROSEMARY	---	---	6' O.C. & SPACING
<b>GRASSES</b>						
MU	MULLENBERGIA 'REGAL MIST'	L	PINK MURLEY GRASS	---	---	4' O.C. & SPACING
<b>VINES</b>						
PA	PARTHENOCCISSUS TRICUSPIDATA	L	BOSTON IVY	---	---	TRAIN TO GROW ON WALLS

NOTE: PLANTING SELECTION IS CONCEPTUAL AND IS SUBJECT TO CHANGE



**FIRMA DESIGN GROUP**  
 PLANNERS • CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

www.firmadesigngroup.com  
 1425 N. McDowell Blvd, Suite 130  
 Redlands, California 94054  
 Telephone • 707.792.1800  
 Fax • 707.792.1852

Prepared Under the Direction of:  
  
 Michael A. Cook  
 RLA 5123 Exp. 11/09/16

RICHLAND COMMUNITIES - LAUREL RANCH  
 ANTIPOCH, CALIFORNIA  
**TENTATIVE MAP**  
 CONVENTIONAL TYPICALS: LOTS 42-45

#	Date	By	Revision

Designed: KFW, NCC  
 Checked: MAC  
 Date: 04/15/15  
 Sheet: **L1.4**  
 of 8 Sheets  
 Job No.: 0515-010

F:\Projects\2015\20150415\_010\_L1.4\_Typical.dwg, 04/15/15, 10:00 AM

SCORED CONCRETE

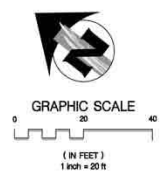
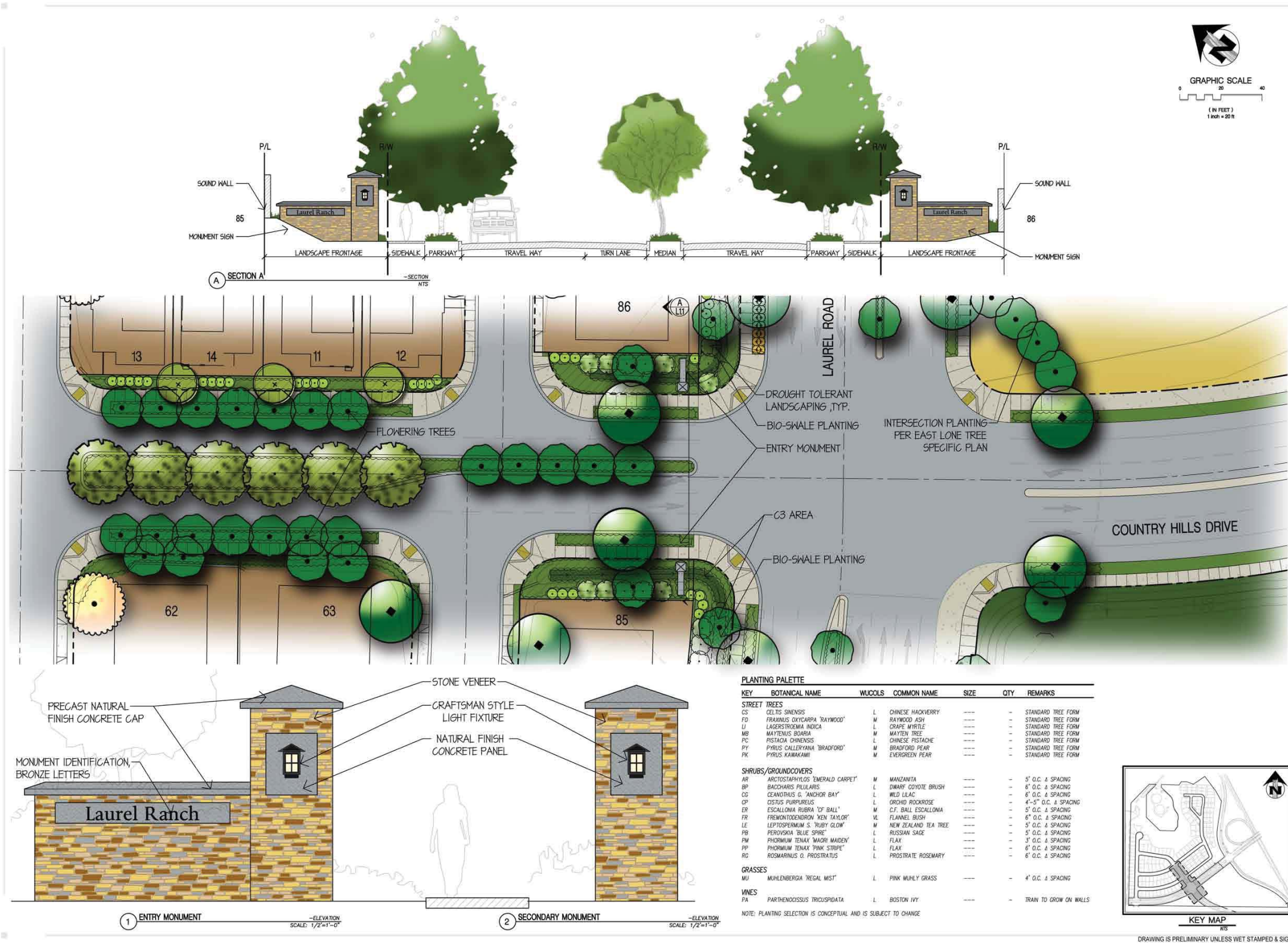
STEP PADS

KEY MAP

DRAWING IS PRELIMINARY UNLESS WET STAMPED & SIGNED



# 4.6 MAIN ENTRANCE



**FIRMA DESIGN GROUP**  
 PLANNERS • CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

www.firmadesigngroup.com  
 1425 N. McDowell Blvd. Suite 130  
 Petaluma, California 94954  
 Telephone • 707.762.1800  
 Fax • 707.762.1852

Prepared Under the Direction of:

Michael A. Cook  
 RA 5123 Exp. 11/30/16

RICHLAND COMMUNITIES - LAUREL RANCH  
 ANTIPOCH, CALIFORNIA  
**TENTATIVE MAP**  
 SITE PLAN - MAIN ENTRANCE

**PLANTING PALETTE**

KEY	BOTANICAL NAME	WUCOLS	COMMON NAME	SIZE	QTY	REMARKS
<b>STREET TREES</b>						
CS	CELTIS SINENSIS	L	CHINESE HACKBERRY	---	---	STANDARD TREE FORM
FD	FRAXINUS OXYCARPA 'RAYWOOD'	M	RAYWOOD ASH	---	---	STANDARD TREE FORM
LI	LIGUSTROBIA INDICA	L	ORANGE MYRTLE	---	---	STANDARD TREE FORM
MB	MAYTENUS BOARIA	M	MAYTEN TREE	---	---	STANDARD TREE FORM
PC	PISTACHIA CHINENSIS	L	CHINESE PISTACHE	---	---	STANDARD TREE FORM
PF	PIRUS CALLERYANA 'BRADFORD'	M	BRADFORD PEAR	---	---	STANDARD TREE FORM
PK	PIRUS KAWAKAMI	M	EVERGREEN PEAR	---	---	STANDARD TREE FORM
<b>SHRUBS/GROUNDCOVERS</b>						
AR	ARCTOSTAPHYLOS EMERALD CARPET	M	MANZANITA	---	---	5' O.C. & SPACING
BP	BACCHARIS PILLULARIS	M	DWARF COYOTE BRUSH	---	---	6' O.C. & SPACING
CG	CEANOTHUS G. 'ANCHOR BAY'	L	WILD LILAC	---	---	6' O.C. & SPACING
OP	OSTIA PURPUREUS	L	ORCHID ROCKROSE	---	---	4'-5' O.C. & SPACING
ER	ESCALLONIA RUBRA 'D' BALL'	M	C.F. BALL ESCALLONIA	---	---	5' O.C. & SPACING
FR	FREMONTODENDRON 'KEN TAYLOR'	VE	FLAMING BUSH	---	---	6' O.C. & SPACING
LE	LEPTOSPERMUM S. 'RUBY GLOW'	M	NEW ZEALAND TEA TREE	---	---	5' O.C. & SPACING
PB	PEROVSKIA 'BLUE SPIRE'	L	RUSSIAN SAGE	---	---	5' O.C. & SPACING
PH	PHORMIUM TENAX 'MADRI MAIDEN'	L	FLAX	---	---	3' O.C. & SPACING
PH	PHORMIUM TENAX 'PINK STRIPE'	L	FLAX	---	---	6' O.C. & SPACING
RO	ROSMARINUS Q. PROSTRATUS	L	PROSTRATE ROSEMARY	---	---	6' O.C. & SPACING
<b>GRASSES</b>						
MU	MUHLENBERGIA 'REGAL MIST'	L	PINK MUHLY GRASS	---	---	4' O.C. & SPACING
<b>VINES</b>						
PA	PARTHENOCCISSUS TRICUSPIDATA	L	BOSTON IVY	---	---	TRAIN TO GROW ON WALLS

NOTE: PLANTING SELECTION IS CONCEPTUAL AND IS SUBJECT TO CHANGE

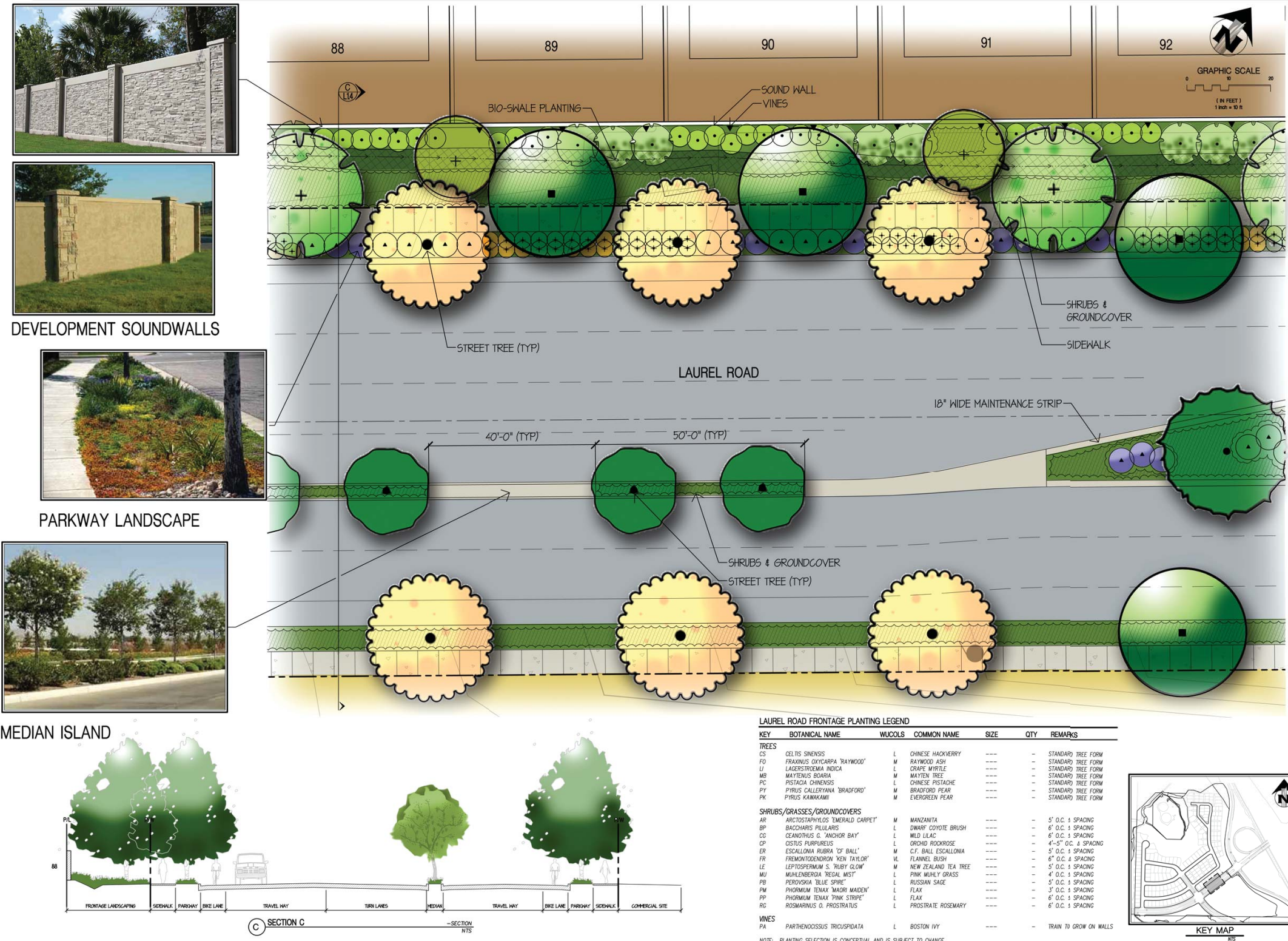


Revision	Date	By

Designed: KFW, NCC  
 Checked: MAC  
 Date: 04/15/15  
 Sheet: **L1.5**  
 of 8 Sheets  
 Job No. 0515-010



# 4.7 LAUREL ROAD FRONTAGE



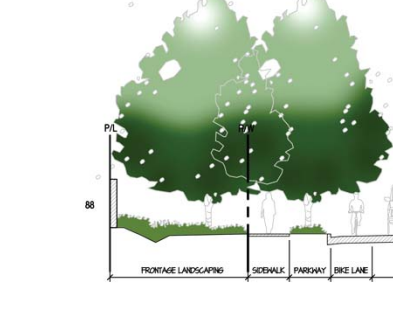
DEVELOPMENT SOUNDWALLS



PARKWAY LANDSCAPE



MEDIAN ISLAND



**FIRMA DESIGN GROUP**  
 planners - civil engineers - landscape architects

www.firmadesigngroup.com  
 1425 N. McDowell Blvd. Suite 130  
 Petaluma, California 94954  
 telephone • 707.762.1800  
 fax • 707.762.1852

Prepared Under the Direction of:

RICHLAND COMMUNITIES - LAUREL RANCH  
 ANTIPOCH, CALIFORNIA  
**TENTATIVE MAP**  
 SITE PLAN - LAUREL ROAD FRONTAGE

Designed by: KFW, NCC  
 Checked by: MAC  
 Date: 04/15/15

Sheet: **L1.6**  
 of 8 Sheets  
 Job No. 0515-010



# 4.8 COMMON SPACE A & G

**LAUREL ROAD FRONTAGE PLANTING LEGEND**

KEY	BOTANICAL NAME	WUCOLS	COMMON NAME	SIZE	QTY	REMARKS
<b>TREES</b>						
CS	CELIS SINENSIS	L	CHINESE HACKBERRY	---	---	STANDARD TREE FORM
FO	FRAXINUS OXYCARPA "RAYWOOD"	M	RAYWOOD ASH	---	---	STANDARD TREE FORM
LI	LAGERSTROEMIA INDICA	L	CRAPE MYRTLE	---	---	STANDARD TREE FORM
MB	MAYTENUS BOHRA	M	MAYTEN TREE	---	---	STANDARD TREE FORM
PC	PISTACHIA CHINENSIS	L	CHINESE PISTACHE	---	---	STANDARD TREE FORM
PY	PYRUS CALLERYANA "BRADFORD"	M	BRADFORD PEAR	---	---	STANDARD TREE FORM
PK	PYRUS KAWAKAMI	M	EVERGREEN PEAR	---	---	STANDARD TREE FORM
<b>SHRUBS/GROUNDCOVERS</b>						
AR	ARCTOSTAPHYLOS "EMERALD CARPET"	M	MANZANTIA	---	---	5' O.C. & SPACING
BP	BACCHARIS PILULARIS	L	DWARF COYOTE BRUSH	---	---	5' O.C. & SPACING
CC	CEANOTHUS G. "ANCHOR BAY"	L	WILD LILAC	---	---	5' O.C. & SPACING
CP	COSTUS PURPUREUS	L	ORCHID ROCKROSE	---	---	4"-5" O.C. & SPACING
ER	ESCALONIA RUBRA "CF BALL"	M	CF BALL ESCALLONIA	---	---	5' O.C. & SPACING
FR	FREMONTODENDRON "KEN TAYLOR"	M	FLANNEL BUSH	---	---	5' O.C. & SPACING
LE	LEPTOSPERMUM S. "RUBY GLOW"	M	NEW ZEALAND TEA TREE	---	---	5' O.C. & SPACING
PB	PEROVSKIA "BLUE SPINE"	L	RUSSIAN SAGE	---	---	5' O.C. & SPACING
PM	PHORMIUM TENAX "MAGIK MAIDEN"	L	FLAX	---	---	3' O.C. & SPACING
PP	PHORMIUM TENAX "PINK STRIPE"	L	FLAX	---	---	5' O.C. & SPACING
RG	ROSMARINUS O. PROSTRATUS	L	PROSTRATE ROSEMARY	---	---	5' O.C. & SPACING
<b>GRASSES</b>						
MU	MUHLENBERGIA "REGAL MIST"	L	PINK MUHLY GRASS	---	---	4' O.C. & SPACING
<b>VINES</b>						
PA	PARTHENOISSIS TRICUSPIDATA	L	BOSTON IVY	---	---	TRAIN TO GROW ON WALLS

NOTE: PLANTING SELECTION IS CONCEPTUAL AND IS SUBJECT TO CHANGE

**C3 LARGE (10' OR GREATER IN WIDTH) BIO-RETENTION BASIN PLANTING LEGEND**

KEY	BOTANICAL NAME	WUCOLS	COMMON NAME	SIZE	QTY	REMARKS
<b>TREES</b>						
AM	ARBUZUS MENZIESII	L	MADRONE	---	---	STANDARD TREE FORM
CO	CERDIS OCCIDENTALIS	L	WESTERN REDBUD	---	---	STANDARD TREE FORM
QA	QUERCUS AGRIFOLIA	L	COAST LINE OAK	---	---	STANDARD TREE FORM
QD	QUERCUS DOUGLASHI	VL	BLUE OAK	---	---	STANDARD TREE FORM
<b>SHRUBS/GRASSES/GROUNDCOVERS</b>						
AC	ACHILLEA MILLEFOLIUM	L	COMMON YARROW	---	---	3' O.C. & SPACING
CA	CAREX PRACRAGIOLUS	M	DEER BED SEDGE	---	---	5' O.C. & SPACING
DC	DESCHAMPsia CESPIITOSA HOLIFORMIS	L	CALIFORNIA HAIRGRASS	---	---	5' O.C. & SPACING
EC	ESCHSCHOLZIA CALIFORNICA	L	CALIFORNIA POPPY	---	---	5' O.C. & SPACING
FI	FESTUCA IDAHOENSIS	VL	IDAHO FESCUE	---	---	5' O.C. & SPACING
FO	FESTUCA OCCIDENTALIS	VL	WESTERN FESCUE	---	---	5' O.C. & SPACING
FM	FESTUCA RUBRA MOLATE	VL	MOLATE BLUE FESCUE	---	---	5' O.C. & SPACING
MA	MIMULUS AURANTIACUS	L	STICKY MONKEY FLOWER	---	---	5' O.C. & SPACING

NOTE: PLANTING SELECTION IS CONCEPTUAL AND IS SUBJECT TO CHANGE

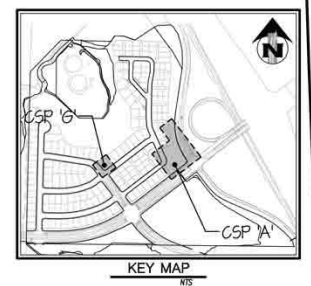
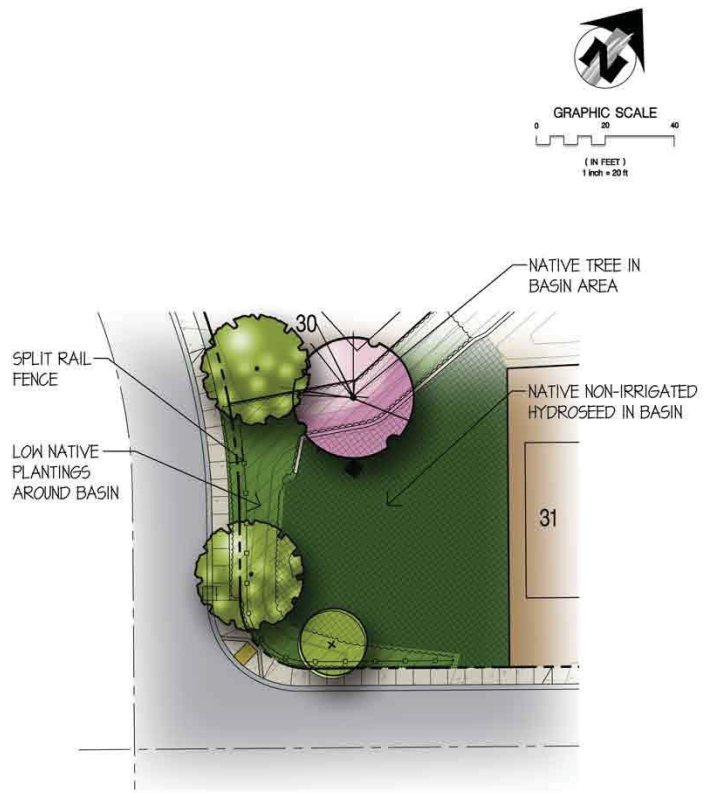
**C3 COMPACT (10' OR LESS IN WIDTH) BIO-RETENTION BASIN PLANTING LEGEND**

KEY	BOTANICAL NAME	WUCOLS	COMMON NAME	SIZE	QTY	REMARKS
<b>SHRUBS/GRASSES/GROUNDCOVERS</b>						
AC	ACHILLEA MILLEFOLIUM	L	COMMON YARROW	---	---	3' O.C. & SPACING
AP	AGROSTIS PALLENS	L	THIN GRASS	---	---	3' O.C. & SPACING
CD	CAREX DIVALSA	L	BERKELEY SEDGE	---	---	5' O.C. & SPACING
CA	CAREX PRACRAGIOLUS	M	DEER BED SEDGE	---	---	5' O.C. & SPACING
DC	DESCHAMPsia CESPIITOSA	L	TUFTED HAIRGRASS	---	---	5' O.C. & SPACING
EC	ESCHSCHOLZIA CALIFORNICA	L	CALIFORNIA POPPY	---	---	5' O.C. & SPACING
FE	FESTUCA RUBRA	L	CREeping RED FESCUE	---	---	5' O.C. & SPACING
JE	JUNCUS EFFUSUS	M	PACIFIC RUSH	---	---	3' O.C. & SPACING
JB	JUNCUS BUFONIUS	L	WATER RUSH	---	---	3' O.C. & SPACING
MA	MIMULUS AURANTIACUS	L	STICKY MONKEY FLOWER	---	---	5' O.C. & SPACING

NOTE: PLANTING SELECTION IS CONCEPTUAL AND IS SUBJECT TO CHANGE



BIO-SWALE LANDSCAPE



DRAWING IS PRELIMINARY UNLESS WET STAMPED & SIGNED

**FIRMA DESIGN GROUP**  
 landscape architects  
 www.firmadesigngroup.com  
 1425 N. McDowell Blvd, Suite 130  
 Petaluma, California 94954  
 telephone + 707.792.1800  
 fax + 707.792.1852

Prepared Under the Direction of:

RICHLAND COMMUNITIES - LAUREL RANCH  
 ANTIOCH, CALIFORNIA  
**TENTATIVE MAP**  
**SITE PLAN - COMMON SPACE 'A' & 'G'**

Rev	Date	By	Reason

Designed: KFW, NCC  
 Checked: MAC  
 Date: 04/15/15  
 Sheet: **L1.7**  
 of 8 Sheets  
 Job No: 0515-010